

**ALBERTA GOVERNMENT SERVICES
LAND TITLES OFFICE**

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CAVEAT

TO THE REGISTRAR OF THE ALBERTA LAND TITLES OFFICE

TAKE NOTICE that **LANARK LANDING HOMEOWNERS ASSOCIATION** of Edmonton, in the Province of Alberta, and **HIGHVIEW COMMUNITIES INC.**, of Edmonton, in the Province of Alberta (together the "Caveator"), each claim an interest under and by virtue of a Restrictive Covenant in writing, dated November 10, 2022, and made between **HIGHVIEW COMMUNITIES INC.**, as registered owner, and the Caveator whereby the said registered owner and the Caveator agreed, all in accordance with the terms of the said Restrictive Covenant, a true copy of which is attached to and forms part of this Caveat, in the lands described as follows:

RSC

See Schedule "A" attached hereto.

standing in the register in the name of **HIGHVIEW COMMUNITIES INC.**, and the Caveator forbids the registration of any person as transferee or owner of, or of any instrument affecting the said estate or interest, unless the instrument or Certificate of Title, as the case may be, is expressed to be subject to the Caveator's claim.

THE CAVEATOR DESIGNATES 900, 10310 Jasper Avenue, Edmonton, AB, T5J 1Y8, as the place at which notices and proceedings relating hereto may be served.

Dated this 10th day of November, 2022

LANARK LANDING HOMEOWNERS ASSOCIATION

PER: _____

PER: _____



HIGHVIEW COMMUNITIES INC.

PER: _____

PER: _____



AFFIDAVIT IN SUPPORT OF CAVEAT

I, GRAEME MELTON, of the City of Edmonton, in the Province of Alberta, MAKE OATH AND SAY AS FOLLOWS:

1. That I am Agent for the Caveator.
2. I believe that the said Caveator has a good and valid claim upon the said land and I say that this Caveat is not being filed for the purpose of delaying or embarrassing any person interested in or proposing to deal therewith.

SWORN BEFORE ME Tanya Eklund
at the City of Edmonton, in the
Province of Alberta, this 10th
Day of November, A.D. 2022

Tanya Eklund
A COMMISSIONER FOR OATHS IN AND
FOR THE PROVINCE OF ALBERTA

)
)
)
)
)

GRAEME MELTON

TANYA L. EKLUND
COMMISSION EXPIRES
MAY 24th, 20 25

SCHEDULE "A"

**PLAN 221 1631
BLOCK 5
LOTS 28 TO 48 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS**

**PLAN 221 1631
BLOCK 5
LOTS 50 TO 56 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS**

**PLAN 221 1631
BLOCK 5
LOTS 58 TO 61 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS**

**PLAN 221 1631
BLOCK 6
LOTS 1 TO 35 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS**

**PLAN 221 1631
BLOCK 7
LOTS 1 TO 21 INCLUSIVE
EXCEPTING THEREOUT ALL MINES AND MINERALS**

THIS RESTRICTIVE COVENANT

MADE AS OF THIS 10th day of November, 2022

BETWEEN:

HIGHVIEW COMMUNITIES INC.

being body corporate incorporated under the laws of the Province of Alberta
(hereinafter together called the "Grantor/Grantee")

OF THE FIRST PART

- and -

LANARK LANDING HOMEOWNERS ASSOCIATION,
aa corporation incorporated under the *Canada Not-for-profit Act*
with registered office at 900, 10310 Jasper Avenue
in the City of Edmonton, in the Province of Alberta, T5J 1Y8
(hereinafter called the "Grantee")

OF THE SECOND PART

RESTRICTIVE COVENANT

WHEREAS:

- a. The Grantor/Grantee is the registered owner of the Dominant Lands and the Servient Lands described in Schedule "A" hereto situate in the City of Airdrie.
- b. The Grantor/Grantee intends to impose a scheme of mutually enforceable restrictions with respect to the use and improvements on the Lands in order to preserve the integrity of the Development.

NOW THEREFORE:

The Grantor/Grantee as registered owner of the Servient Lands described in Schedule "A" does grant and the Grantor does hereby declare, establish, impose and annex to the Servient Lands and each and every portion thereof for the benefit of the Dominant Lands, the following stipulations, restrictions, guidelines and provisions to run with the Lands and be binding upon the owners from time to time of the Lots:

1. In this Restrictive Covenant, including the preamble, the following words and expressions shall have the meaning herein set forth:
 - a. "**Architectural Committee**" means a committee established by the Grantor/Grantee for so long as the Grantor/Grantee remains an Owner, and thereafter established by the Homeowners Association;
 - b. "**Developer**" means Highview Communities Inc. and its successors and assigns.
 - c. "**Development**" means the residential subdivision plan within which the Lots are located;

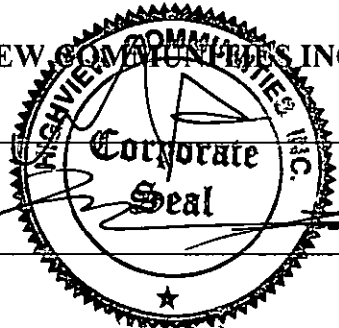
- d. **“Dominant Lands”** means the leasehold and easement interests of the Homeowner’s Association, granted to the Homeowner’s Association the lands described in Schedule “A” hereto;
 - e. **“Dwelling”** means any residential dwelling constructed on any of the Lots;
 - f. **“Guidelines”** means the Architectural and Construction Guidelines attached hereto as Schedule “B” and as amended from time to time by the Architectural Committee;
 - g. **“Homeowners Association”** means the Lanark Landing Homeowners Association;
 - h. **“Lands”** means the lands described in Schedule ‘A’ hereto;
 - i. **“Lot”** means one of the lots described in Schedule ‘A’ hereto and any further subdivision of such lots;
 - j. **“Owner”** means a registered owner in fee simple of a Lot;
 - k. **“Restrictions”** means the provisions, restrictions and stipulations contained in Paragraph 2 of this Restrictive Covenant;
 - l. **“Restrictive Covenant”** means this agreement as the same may be amended from time to time and the expressions “herein”, “hereof”, “hereto”, “above”, “below”, and similar expressions if used in any article, section or paragraph of this agreement refer to this agreement including the schedules hereto and do not refer solely to a particular article, section or paragraph unless specifically stated herein;
 - m. **“Servient Lands”** means the lands described as such in Schedule ‘A’ hereto.
2. For each of the Lots comprising the Servient Lands, for the benefit of the Dominant Lands, the restrictions, stipulations and provisions in the attached Guidelines are to run with the Lands.
 3. If any of the Restrictions herein or the application thereof to any part or any circumstances shall be held by any Court of competent jurisdiction to be invalid or unenforceable to any extent, then such Restriction shall be severed from the remainder of this Restrictive Covenant, and the remainder of this Restrictive Covenant or application of such Restriction to a party or circumstance other than those to which it is held invalid or unenforceable shall not be affected thereby and each of the remaining Restrictions of this Restrictive Covenant shall be valid and enforceable to the fullest extent permitted by the law.
 4. This Restrictive Covenant is in addition to the requirements of the municipal or other government authorities having jurisdiction in respect of the use of the Lands, and nothing contained herein shall be construed as permitting or authorizing anything which is prohibited, controlled or regulated by any statute, bylaw, regulation or like enactment having the force of law and having application to the lands.

5. Nothing herein shall require or oblige the Grantee to enforce this Restrictive Covenant or render the Grantee liable for the failure of any of the Owners from time to time of the Lots to adhere to or conform with the Restrictions contained in this Restrictive Covenant, it being the intention to attach to each of the Lots and the Owners thereof the obligation for compliance with this Restrictive Covenant.
6. The Restrictions contained in this Restrictive Covenant shall be binding upon and enure to the benefit of the Owner from time to time of each of the Lots and the Grantee and the restrictions herein shall run with the Lands and each of the Lots.

IN WITNESS WHEREOF these presents have been executed by each of the parties hereto the day and year first above written under its corporate seal and by the hands of its officers duly authorized in that behalf.

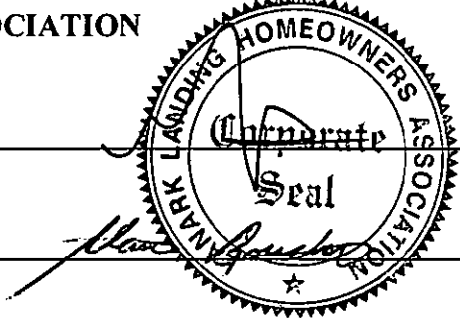
HIGHVIEW COMMUNITIES INC.

Per: _____
Per: _____



LANARK LANDING HOMEOWNERS ASSOCIATION

Per: _____
Per: _____



SCHEDULE "A"
TO RESTRICTIVE COVENANT AGREEMENT

The Current Lots are legally described as follows, all being lots shown on the subdivision plan registered as Plan No. 221 1631, namely:

Block 5, Lots 28 to 48 inclusive

Block 5, Lots 50 to 56 inclusive

Block 5, Lots 58 to 61 inclusive

Block 6, Lots 1 to 35 inclusive

Block 7, Lots 1 to 21 inclusive

SCHEDULE "B"

ARCHITECTURAL AND CONSTRUCTION GUIDELINES

LANARK

L A N A R K
L A N D I N G

Architectural Guidelines

November 2022



e2+associates
LAND ADVISORY GROUP

MELCOR
DEVELOPMENTS LTD.

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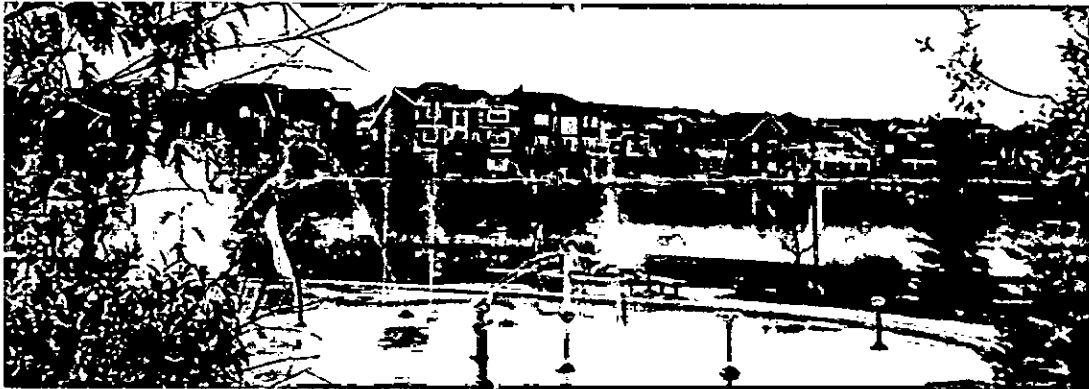
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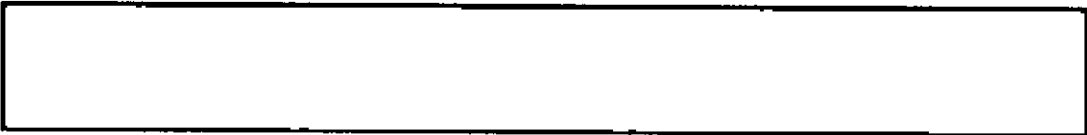


1. INTRODUCTION

1.1 Background and Location

Lanark Landing is a master planned residential community conveniently located in the southeast corner of Airdrie. Lanark Landing is envisioned as a community oriented towards active families and individuals eager to take advantage of the outdoors through Lanark Landing's extensive parks, pathways and recreational amenities. The community of Lanark Landing will be inclusive of many diverse forms of housing that will accommodate the wants and needs of a wide range of home buyers. The Developer and Architectural Committee of Lanark Landing is Highview Communities Inc. and its successors and assigns. The Architectural Guidelines adopt the defined terms as set out in the Restrictive Covenant.





1.2 Architectural Guidelines

The Architectural Guidelines have been prepared to promote a high level of architectural detail, ensure a pleasing building form, and promote an awareness of environmental sustainability. Builders and designers are to use these Architectural Guidelines as a guide when planning their new home. The Architectural Guidelines have been written in a definitive manner with multiple examples which will allow creativity and create harmony and continuity in home design within the community.

The Architectural Guidelines in Lanark Landing will maintain a strong connection to the traditional styles popularized throughout Airdrie communities by presenting streetscapes with strong traditional forms borrowed from the popular architectural styles – Craftsman, Prairie and Brownstone. The community will embrace current housing trends and progressive suburban living through modernized versions of these styles. The Modern Prairie and Modern Farmhouse styles encompass clean lines and modern features.



2. GENERAL RULES

The Architectural Committee has commissioned the Architectural Coordinator to complete a review of all house plans to ensure compliance with the Architectural Guidelines. An "Approved" stamp will be provided by the Architectural Coordinator on the elevation drawings and site plan upon final approval. The builder must bring the approved stamped plans when submitting for a development permit and building permit at the City of Airdrie.

All construction must comply with the current City of Airdrie Land Use Bylaw and Alberta Building Code. Construction may only begin upon receipt of a Building Permit from the City of Airdrie and a Grade Slip from the Architectural Coordinator which is prepared by the Consulting Engineer. Conformity with the Guidelines does not supersede the required City of Airdrie approval process.

2.1 Land Use and Zoning Regulations

The housing throughout Lanark Landing is intended to be very diverse in nature therefore a variety of land use and zoning requirements will exist in the community. Builders are to ensure familiarity with the appropriate requirements and stipulations.

2.2 Minimum Floor Area

The Developer has established the minimum floor area for Lanark Landing. This minimum floor area is for total floor area above grade and does not include attached garages or any basement floor area. All houses in Lanark Landing are to properly fill the lot width and meet minimum house size requirements.

Builders are to refer to the addendum for each product type and its respective zoning to determine the minimum requirements.

- R-2 Single Family - Rear detached garage
- R-1L Single Family - Rear detached garage - Greenstreet
- R-2 Semi Detached - Rear detached garage
- DC-44 Semi Detached - Front attached garage
- R2-T Row House - Rear detached garage
- R-1 Single Family - Front attached garage
- R1-U Single Family - Front attached garage



3. SITE PLANNING

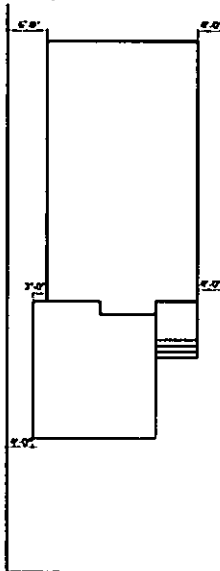
3.1 House Siting

Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize lot space. Designers should take into consideration the lot width, length and shape as houses should be conforming to these dimensions. Homes in Lanark Landing will be sited to create variety and homes with greater massing will have increased front setbacks. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot. Front setbacks will be varied to provide interest in the streetscape and to compliment massing of individual homes

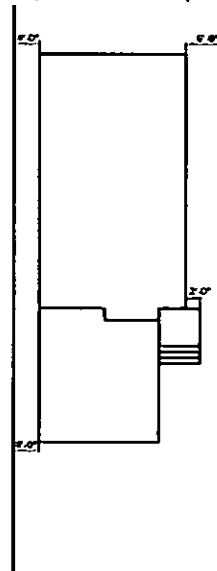
3.2 Maximum Side Yards

3.2.1 Interior Lots

- The preferred combined side yard for all interior lots will be 8'-0" (2.44m) (ie. a 30'-0" dwelling on a 38'-0" lot) This distance will be measured from the side property line to foundation wall on both the front and the rear of the dwelling.
- The Developer will permit a maximum combined side yard of 10'-0" (3.05m) (ie. a 28'-0" dwelling on a 38'-0" lot) for all interior lots. Providing that one of the following conditions has been met;
- 2'-0" (0.61m) garage offset must be provided (Refer to Example A)
- 2'-0" (0.61m) porch extension must be provided (Refer to Example B)



Example A



Example B



3.2.2 Corner Lots

- A maximum combined setback of 14'-0" (4.27m) may be used on corner lots only
- A wraparound porch will be preferred where possible; an at grade patio/terrace if a porch is not, but it must be usable (minimum 3'-0" width)
- Builder may choose to extend the rear deck to meet a total 14'-0" (4.27m) Sideyard.
- Actual house width must be no less than 10'-0" (3.05m) narrower than width indicated on Marketing Map. (ie. A house on a 38.00 EQ lot must be a minimum of 28'-0" wide)

3.3 Lot Grading

Lot grading must be in compliance with the City of Airdrie Lot Grading Bylaw B-34/2007. Lot grading must follow the natural slope of the land and is to be consistent with the subdivision grading plan. Builders should give due consideration to building grades when determining house types in order to assure that an appropriate house is located on each homesite. Lot slopes should be absorbed within the building massing as much as possible.

In relation to lot grading, builders and designers are to ensure that:

- Drainage patterns created on the home sites to ensure surface water is channeled away from the house on all sides and into adjacent drainage swales.
- All of the corner and intermediate elevations, as established by the development engineer, be maintained exactly as specified. Front and rear yard slopes may not exceed 25%. Sideyard slopes are to stay within a 5%-33% range.
- The lot grades create a drainage pattern, as indicated on the "grade plan", and must be maintained. Site drainage must be established prior to commencing construction and maintained by the builder throughout the construction period.
- Rear yards will require a minimum 3% grade.
- A retaining wall may not be used in order to artificially raise or lower the suggested grades on any lot.





4. ARCHITECTURAL DESIGN

4.1 Proposed Housing Product

The very diverse housing product proposed throughout Lanark Landing will consist of single family - front attached garage homes, single family - rear detached homes, semi-detached units with and without front attached garages, greenstreet homes and rowhouses.



4.2 Architectural Styles

The progressive nature of the community of Lanark Landing will provide the form and massing of traditional architectural styles infused with clean, neat detailing and features.

4.2.1 Modern Brownstone

The Modern Brownstones of Lanark Landing will present facades that integrate modern features with the Brownstone character.

Typical Design Elements:

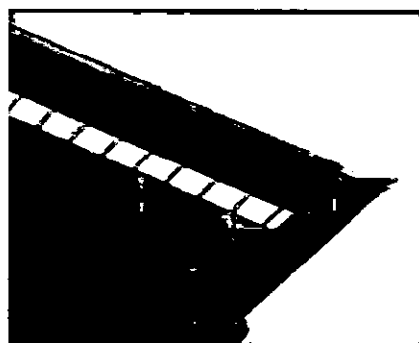
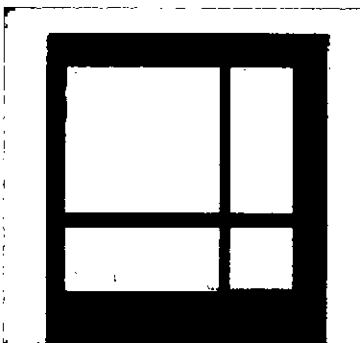
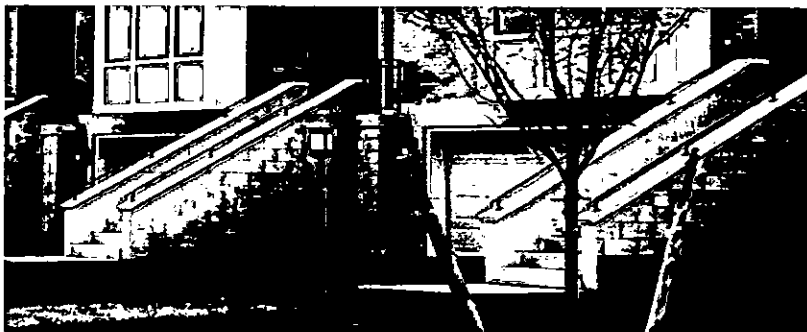
- Steep pitched repetitive gables (Min. 10/12)
- Small eaves (Max 12")
- Masonry front entry walls
- Uniform steps or porches
- Stacked floor plates
- Repetitious window patterns
- Clean trim detailing
- Horizontal banding
- Brick finish
- Stone accents





4.2.1.1 Modern Brownstone Details

Clean, modern detailing is required for all architectural styles in Lanark Landing . Many of these details will be appropriate for more than one Architectural style. These modern details will help tie the different architectural styles together.



4.2.2 Modern Farmhouse

The Modern Farmhouse style evolved from the massing and form of a traditional craftsman style updated with clean, modern features.

Typical Design Elements

- High pitched gable rooflines (Min. 7/12)
- Medium eaves (Max 18")
- Multiple gables
- Exposed rafters
- Large segmented windows
- Smooth straight edge shingles
- Panel features
- Straight simple battens





4.2.2.1 Modern Farmhouse Details

Clean, modern detailing is required for all architectural styles in Lanark Landing . Many of these details will be appropriate for more than one Architectural style. These modern details will help tie the different architectural styles together.

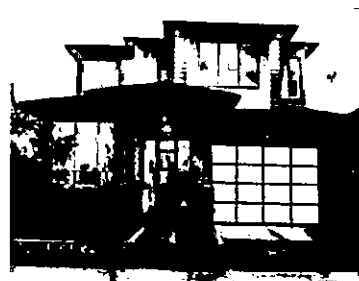
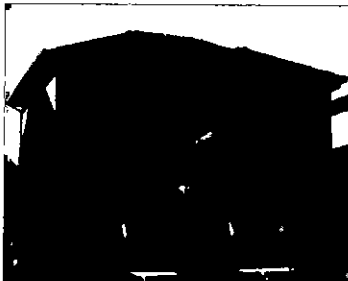


4.2.3 Modern Prairie

Modern Prairie style houses integrate the strong Prairie character and massing with clean modern detailing.

Typical Design Elements

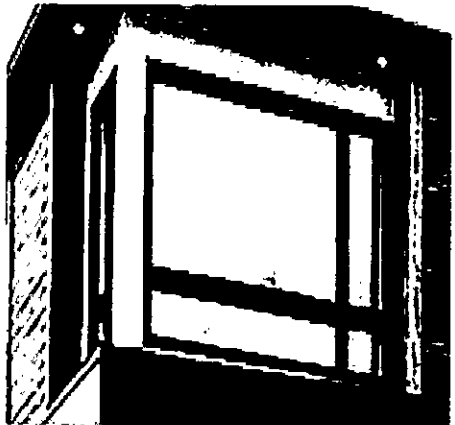
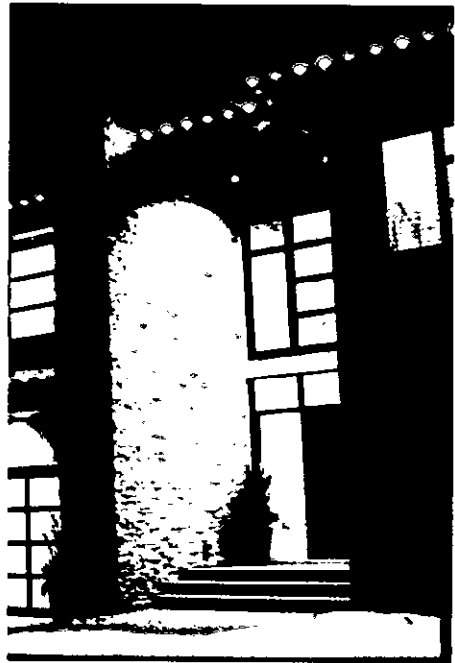
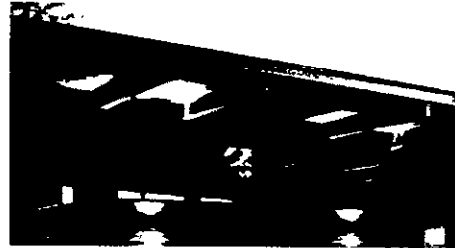
- Low-pitched hipped rooflines (Min. 4/12)
- Wide overhanging eaves (Min. 24")
- Two storey elements with one storey wings or porches
- Repetitive ribbon windows
- Roof dormers
- Large square porch supports
- Facade detailing that emphasizes horizontal lines





4.2.3.1 Modern Prairie Details

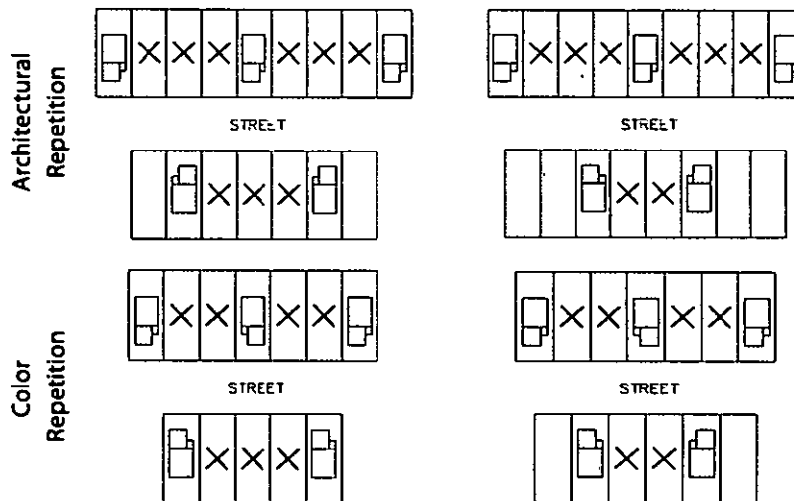
Clean, modern detailing is required for all architectural styles in Lanark. Many of these details will be appropriate for more than one Architectural style. These modern details will help tie the different architectural styles together.



4.3 Repetition

Three architectural styles have been chosen to allow enough variety for the consumer to pick the home of their choice in a number of different front elevations provided by the builders. Repetition of the architectural styles may be limited to ensure enough variation in the proposed streetscapes.

Identical or near identical elevations and exterior colours may not be repeated more often than every fourth (4th) home on the same side of the street and every third (3rd) home on the opposite side of the street. This may be altered at the discretion of Architectural Coordinator if it can be shown that the two elevations in question are located so as not to be visible together from any angle. While similar house plans and elevations are inevitable, it is possible to vary the design by changing exterior elements. If it is felt that the adjacent houses are too similar the Architectural Coordinator will request the applicant to make design changes. There must be a significant change in features, such as roof type, size and location of windows and doors, colours, and finish materials. A change of materials alone and reversing the plan is not sufficient.



4.4 Building Forms and Massing

4.4.1 Single Family Homes

Single Family Homes should reflect the characteristics of architectural style portrayed. See section 4.4.4 and 4.4.4.1 for garage requirements for front attached garage product

4.4.2 Semi-Detached Homes

The overall massing of all semi-detached product is to present as a large single family home with uniqueness to each side. Repetition or mirroring of the same plan is to be differentiated in the exterior designs. See section 4.4.4 and 4.4.4.1 for garage requirements for front attached garage product.



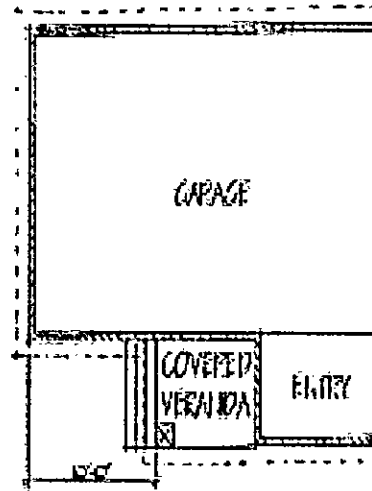
4.4.3 Row Housing

Connected Row housing may present in a more repetitive manner, characteristic of this style of product. Exteriors are to include strong features that provide suitable interest to the streetscape.

4.4.4 Garages

Some houses in Lanark Landing require an attached front drive garage. This product should be designed to reflect and complement the overall massing and proportion of the home and not dominate the streetscape.

If a triple car garage is used, at least one of the bays of the garage must be offset from the other bays. This offset should be a minimum of two feet and the roof line of this bay should be offset to provide articulation and to enhance the overall garage design.



The garage location will be noted on the Building Grade Plan and the subdivision Marketing Plan and builders are to use the garage location as shown. If a side drive garage is chosen, the garage should stay in the same side of the lot that it was intended to be on so it does not impede the view out of the front of neighboring homes. Garages will generally be paired with the neighboring homes unless noted otherwise on the marketing map.

4.4.4.1 House: Garage Ratio

All front attached garage product must meet the garage/house ratios specified in the City of Airdrie Land Use Bylaw .712, Table 11.

4.4.4.2 Garage Projections

In order to reduce the visual impact of a front drive garage, close attention will be paid to the architectural design of the front elevation and the design of the front entryways. One method is to bring the front entryway or porch as far forward as possible, without adversely affecting the interior layout of the house.

For all R-1 homes, it is encouraged that the distance from the front of the garage to the front entry be minimized. Where this distance exceeds 10', additional detailing (windows, battens, masonry) will be required.

For all R1-U homes, it is a MANDATORY requirement that the distance between the front



face of the garage and the front entry porch does not exceed 10'-0". This will help make the garage compliment the design of the house and not look like an addition.

Should the siting of the house present restrictions in meeting this requirement, the distance may be permitted to be exceeded and additional detailing along the garage wall such as a window, or batten detailing will be required.

4.4.5 Living Area Over Garage

Living area over the garage or otherwise know as bonus rooms over garages will be encouraged, but are not permitted to cover the entire depth of the garage. Designers will be asked to reduce the visual impact of the bonus room through use of rooflines and battens. Materials that are applied to the front of the bonus room must return along the side wall of the garage to the entry.

4.4.6 Roof Design And Pitch

The roof pitch and overhang should reflect the massing of the chosen architectural style. See the Architectural Style in section 4.2 for overhang and eave requirements.

4.4.7 Front Porches

All houses shall incorporate a front porch or stoop into their designs to integrate with the streetscape to provide a more pedestrian friendly environment. The use of a porch on front attached garage home will also help reduce the distance from garage face to front entry. To ensure the functionality and correct massing a minimum depth of 5 feet will be required for all porches. Rooflines & detailed gables that project past the landing further into the walk should be considered.

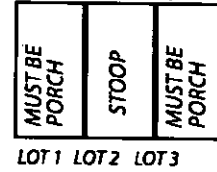
The underside of the porch is to be screened in an appropriate and complementary material so that the underside of the porch is not visible. Lattice will not be permitted, Stone, Brick, Paneling, Board & Batten or shake are permitted as skirting.

When the lots have extra width available to them a wraparound porch or extended width porch is required. This is required to maximize the use of the available lot spacing. This is especially important on reverse pie shaped lots where the front is significantly wider than the rear of the lot, corner lots and the larger 36' and 38' amenity lots. A wraparound porch should return at least 3' from the foundation corner, while an extended porch should have a depth of at least 5 feet.



For laned semi-detached and laned homes, full width front porches will be required on 50% of the lots. Homes with stoops may be utilized but consecutive homes may not have a stoop.

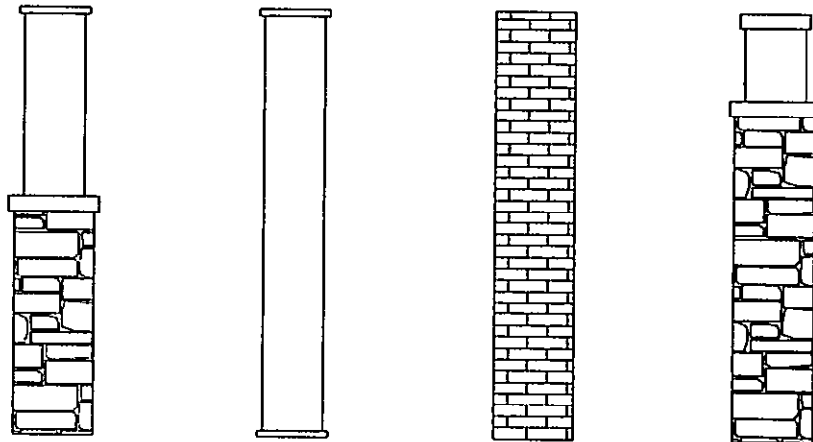
Front porches are not required on brownstone townhomes.



4.4.8 Columns

All columns must be boxed out in decorative material and be a minimum size of 12"x12". They should have structural integrity and reflect clean modern detailing reflective of the selected architectural style of the home. Columns are not required to have a masonry base, if a base is selected it must be at least 3 feet in height from the top of the porch floor and extend to the grade in all cases. Minimum columns are to have a 2" top and bottom cap with relief panel and minimum trim.

Columns must have crezone or smartboard panel detailing - siding not permitted on columns.



4.4.9 Exposed Elevations

An exposed elevation will be considered as any elevation that faces onto a street, park, green space, open space, pathway, municipal reserve, environmental reserve, amenity space, storm ponds, commercial developments or apartment/condo buildings. Sales and design teams are asked to verify their lots to the marketing map for site furniture and possible exposed elevations.

4.4.9.1 Corner Lots

Corner lots require additional treatment to the street side elevations to the same extent as the front elevation. Rear elevations on corner lots flanking a street must have full treatment consistent to the front elevation. Sales and design teams must take this into account when working with home buyers as this will not be relaxed at any time. Corner lots must be well articulated with various architectural elements appropriate to the selected architectural style and extra attention must be paid to the massing and detailing of the porch.

The proper house design for corner lots would be a bungalow or storey and a half with living space built into the roof system. Elements include; box outs, chimneys to grade, additional windows, detailed trims to match front elevation, shadow bands, belly boards, corner boards, rooflines, gables with secondary materials, porch or verandas that wrap around from the front of the house.

When a two storey home is proposed on a corner lot extra attention will have to be paid to the bonus room above the garage. A full height chimney will be suggested as well as roof plans that wrap around the building face. If a full height chimney does not suit the design, an alternative detail may be approved and will be at the discretion of the Architectural Coordinator.





4.4.9.2 Rear Elevations

Houses that have an exposed rear elevation in Lanark Landing will require a rear elevation that is designed to the same extent as the front elevation. Builders are to ensure these rear elevations are consistent with the front elevation. Decks must be built at the initial time of construction and must be shown on the building plans.

Clear three storey elevations and large exposed flat walls will not be permitted. There needs to be articulation in the wall heights to help ground the building. Designers will be required to articulate rear elevations on walkouts to reduce the massing, which can be accomplished by staggering the upper floor or by adding different roof elements between the main and upper floor.



4.4.10 Exterior Decks

All walkout homes regardless if they are visible from the street or not will require a deck that must be on the plans and built at the initial time of construction. At minimum all walkout decks will require;

- Supporting columns are to be built out to 12" x 12" extending from grade to the underside of deck.
- Cap and base of the columns must be architecturally detailed and built out.
- Underside of deck must be finished with aluminum, wood or a composite soffit.
- The main beam and rim joist must be clad in smartboard or an approved equivalent.

Decks that are considered to be on an exposed elevation will require at minimum 12" x 12" built out columns extending from grade to underside of the deck. These columns are to be consistent with the front elevation and must be clad in masonry. The columns base is to be at least 4 feet in height. All deck stairs vertical surfaces (stringers, risers) shall be painted to match the home.

Decks that are less than four feet above grade must be skirted in smartboard or an approved equivalent with a trim detail. Relaxations may be granted on non-exposed elevations on lots with privacy fencing. Lattice is not permitted as a skirting material.



4.4.11 Driveways

Driveways shall be constructed with broom finished concrete as a minimum. It is encouraged that driveways be detailed with borders or inset patterns utilizing exposed aggregate, patterned concrete or pavers. To ensure an attractive streetscape, lots with triple car garages or pie lots where the driveways converge together are required to have 24" borders of exposed aggregate or stamped concrete along each side of the driveway. The following details for driveways are minimum requirements and alternatives:

- Desirable driveway slopes are between 3% and 7%
- Maximum driveway slope is 10%; minimum is 2%
- Driveways must be the width of the garage but may taper to be narrower at the street.
- Semi detached - double front attached garages must have 24" border of exposed aggregate or stamped concrete along each side with double car garage
- The use of permeable driveways is encouraged and will be approved at the discretion of the Architectural Coordinator.

4.4.12 Sidewalks

- All Sidewalks are to be poured broom finish concrete at minimum
- Sidewalks for homes with driveways to be poured concurrent with the driveway.
- Sidewalks must be a minimum of 4 feet in width.

4.4.13 Retaining Walls

Where retaining walls are required, it is recommended that they are constructed using natural materials (i.e. sandstone boulders, rundle rock or river rock (mortar)). Retaining walls not constructed from natural materials should be constructed with a visually aesthetic material (i.e. decorative concrete, or concrete with a stone or brick facing). Concrete wing walls will be acceptable when not visible from the street, but they require Architectural Design Approval.

Retaining walls will be limited to a height of 4 feet (1.22 meters). All retaining structures must be within property lines. Any retaining wall exceeding 1.00 metre in height **MUST** be approved by a professional engineer and may require a development permit.



5. BUILDING MATERIALS

5.1 Primary Wall Materials

Vinyl siding in a premium dark colour will be the standard in Lanark. Light colored siding must be composite (Hardie Board or approved equivalent). White vinyl may be permitted on homes if paired with additional detailing of black windows and metal roof lines; this will be at the discretion of the Architectural Coordinator. Vinyl siding must be a traditional lap profile. **Dutch lap vinyl siding will not be permitted.** Composite siding will be approved and considered an upgraded finish. Stucco in a smooth finish will be considered and upgrade and may be approved at the discretion of the Architectural Coordinator. Any alternate exterior cladding materials need to be submitted for review to the Architectural Coordinator.

5.2 Secondary Wall Materials

Secondary wall materials and colours are required on the front and exposed side and rear elevations of every home and may consist of board and batten, composite panel, Straight edge cedar or composite shakes with a wood grain, smooth and/or stucco finish. Composite siding in a different profile or alternate colour would also be approved as a secondary wall material.

All gable ends on exposed elevations will require a secondary wall material. Horizontal siding will not be approved.

5.3 Masonry

A traditional base of masonry is recommended on all homes in Lanark. Stone or brick on the front of the garage will be required to return along the length of the garage wall to the face of the porch or pillars on R1-U homes, and to the face of the front entry on R1 homes. All other returns must be a minimum of 2'-0". The end of the return will need to be finished with trim that sits proud.

Approved masonry products are:

- Brick.
- Manufactured or Natural stone with ashlar or structured courses. Panelled systems with obvious repeat patterns will not be accepted and will requested to be removed if found installed.

Designs with no masonry base may be accepted at the discretion of the Architectural Coordinator. These homes will require extensive detailing, application of secondary materials as a base alternative and trim elements.



5.4 Trim, Fascia and Soffits

Designers are asked to put a great deal of effort into the trim detailing on each design.

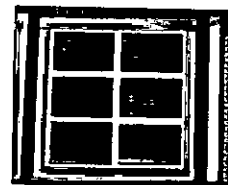
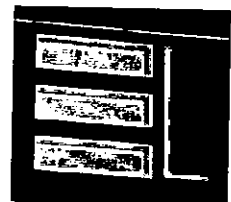
- Trim detailing around all openings is required for upper storey windows on all non-exposed rear elevations. Full trim detailing will be required on all openings of exposed elevations, as well as all rear openings if the home is within three lots of the street corner.
- Trim shall be a paintable composite material such as Smartboard or an approved equal.
- Shadow boards or cornices are required in open gables on front and rear elevation.
- Trim details around openings to be a minimum of 4".
- Trim must sit proud of the wall material they are designed within. When Smartboard trim is used on a stone wall, the trim must be built out at least ½" proud of the stone.
- Rainware must be limited on exposed elevations. Downspouts should take place on side and rear elevations of homes only.
- Eavestrough colours are to match the fascia colour.
- Fascia must be a minimum of 8 inches in height and is to be constructed with smartboard (or approved alternative) for any open gable, or fascia not concealed by eavestrough on exposed elevations. All other fascia may be 6 inches in height and finished in aluminum.

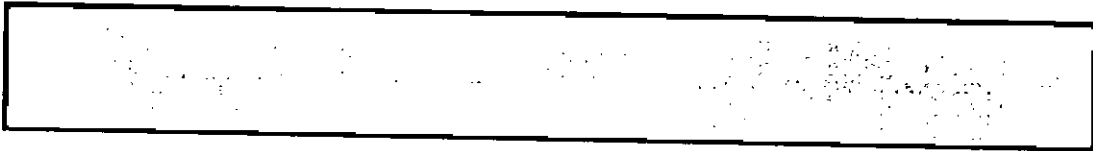
5.5 Windows

Windows layouts are very important to achieve a chosen architectural style. Windows should be positioned in good proportion and relationship to one another on an elevation. If windows are not setup properly, walls can look scattered and unorganized.

Casement, double-hung, and single-hung are appropriate window types and may be incorporated with non functional windows to create more elaborate modern window designs. Sliding windows will be acceptable, but still require decorative treatment.

- Simulated divided lights (SDLs) or muntin bars are to be used on the front elevation; they are not required on rear elevations. Side elevations that are considered an exposed elevation will require SDLs muntin bars





- Large picture windows should be flanked by narrower vertical windows.
- Windows are to be oriented vertically, taller than they are wide.
- Skylights, if used, should be black in colour to match the roofing, have a flat profile, and not be visible from the front street.

5.6 Roofing

The roof material for all homes is to be premium architectural asphalt shingles such as IKO Cambridge, GAF Timberline, BP Harmony Z. Composite products such as Gem or Endur, and concrete tile in the slate profile with a dark colour will also be permitted. Other equivalents may be approved at the Architectural Coordinators' discretion. No wood shakes will be allowed. All roof stacks must be enclosed and/or finished to compliment the roof colour and exterior finish detail.

- Black, brown and grey will be the approved roofing colours when asphalt shingles are used.
- Rainwater leaders and soffits shall match or compliment the approved trim colour.
- All roof hardware (vents, stacks, flashing, etc.) must be painted to match the colour of the roofing material. Unfinished galvanized flashing will not be permitted

5.7 Entry Doors

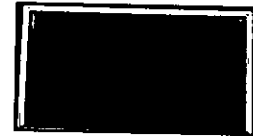
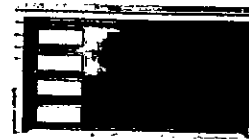
- Are to compliment the architectural style of the home and should stand as a primary element of the front elevation. A typical 6 panel door will not be permitted.



- Entry doors should have glazing and/or sidelights and/or transom windows. Upgraded fibreglass doors with a natural appearance or real wood door will be permitted at the discretion of the Architectural Coordinator and may be approved without the requirement of glazing.
- Double front entry doors will be approved at the discretion of the Architectural Coordinator.
- Sliding patio doors should not be located on front elevations.

5.8 Garage Doors

- Garage doors must be flat panel or traditional carriage/ renaissance style with vertically proportioned panels and raised trim. This will give the appearance that the door has been constructed of wood.
- It is required that all garage doors on R-1 lots incorporate glazing into the overhead door design.
- Garage doors are not to exceed 8 feet in height and 20 feet in width unless authorized by the Architectural Coordinator.
- Additional space above the garage door to eaves line (more than 24 inches) will have to be justified and treated with an architectural feature.
- The same garage door style will not be permitted to be side by side, there must be at least one house of separation.





5.9 Front Steps

Front steps are to be constructed of concrete. Upgraded decorative finishes for the steps and sidewalk are encouraged. Pre-cast concrete steps will be permitted. Wood porches or other alternative materials may be approved if they match the design of the home and are skirted with stone, smart board or an equivalent trim detail. Alternative materials may be approved at the discretion of the Architectural Coordinator if the materials are high quality and



match the design of the home. Wood steps, if accepted, must have all vertical, exposed surfaces stained to match the colours of the home. Acceptance of wood steps will only be permitted when a porch is also included in the design, this will be at the discretion of the approving authority.

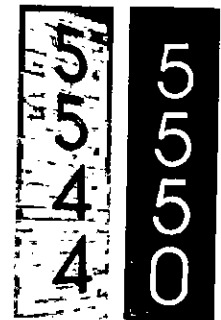
5.10 Railing

Railing will be required as per the Alberta Building Code. Front porches and rear decks should have railings in a style to match the architectural theme. Depending on architectural style, acceptable railing materials include:

- Aluminum
- Wrought Iron
- Glass Panel

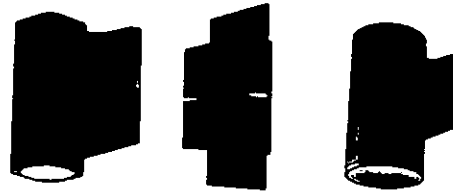
5.11 Exterior House Numbers

Large modern exterior house numbers will be prescribed in Lanark Landing. Address numbers will be available for purchase through the Developer's office. This will ensure that all aspects of the architectural design reflect the modern heritage architectural theme of the community.



5.12 Exterior Lighting

Pot lights or light fixtures with a contemporary look are required for the garage and front entry. All light fixtures shall complement the architectural style of the home. Flood lights will not be permitted.



5.13 Exterior Colours

Colours on the exterior of the home need to be consistent with the architectural theme of the home. Pink or Peach tones will not be considered. The Architectural Coordinator must approve all exterior colour schemes. Colours should complement and enhance the ambiance of the community.

Each home is required to have one secondary colour that is a contrasting colour to the main body colour of the home. The secondary colour must offer a striking contrast to the main body colour of the home and cannot be a lighter or darker shade of the same colour. Lighter shades may be used at the discretion of the Architectural Coordinator. Light coloured siding must be composite (Hardie Board or approved equal) on all exposed elevations. Non-exposed elevations may be vinyl in a colour that is an exact match of the composite. If a secondary colour is desired in a dark colour no restrictions will be made to the amount used. When vinyl siding is used, dark bold siding colours are required.

- Trim must be a contrasting colour to the main body colour of the home, shadow boards, columns, wood stair risers, fascias and soffits must all match the trim colour.
- Garage doors must be painted to match the main body colour or trim colour of the house. Doors that are painted a wood colour may be approved at the discretion of the Architectural Coordinator.
- The roofing colour must be complimentary to the main body and trim colour of the home.
- White vinyl may be permitted on the Farmhouse style homes if paired with additional detailing of black windows and metal roof lines; this will be at the discretion of the Architectural Coordinator.



6. ADDITIONAL REQUIREMENTS

Nothing herein contained shall be construed or implied as imposing on the Developer, Architectural Committee, its agents or employees, any liability in the event of non-compliance with or non-fulfillment of any of the terms, restrictions and benefits set forth herein, and no liability or responsibility whatsoever shall be incurred by the Developer, Architectural Committee, its agents or employees, in the performance or non-performance of their rights and obligations herein.

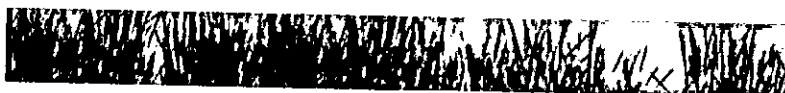
6.1 Environmental Initiatives

The Architectural Committee encourages green building practices and environmental initiatives in Lanark Landing. In addition to the requirements of The City of Airdrie Land Use Bylaw, the following requirements apply:

- Rain Barrels are encouraged, provided they are located on the sides of the homes only. All rain barrels should be of an Earth tone colour.
- Drainage from roof downspouts shall discharge on soft landscaping and not on hard impervious surface.
- Solar collectors are encouraged and may be black in colour only.
- Compost bins will only be permitted in rear or side yards. For homes that back onto open space, compost bins will only be permitted in side yards. Compost bins are to be made from prefinished materials, not unfinished wood. All compost bins will require a gravel base or concrete pad so they are not resting directly on the lawn area.
- Electricity generation using small wind turbines is not permitted unless approved by the Architectural Coordinator or the Architectural Committee.
- Greenhouses will be permitted provided they are professionally designed and built and the plans must be approved by the Architectural Coordinator or the Architectural Committee.

6.2 Satellite Dishes

- Satellite dishes are allowed provided the dish size does not exceed twenty-four (24") inches in diameter and the location of the dish is concealed to minimize visual impact.
- Notwithstanding the above, the Representative reserves the right to reject any installation if deemed inappropriate.



6.3 Air Conditioning Units

Central air conditioning or other mechanical hardware must be located where they are not visible from the street and should be screened when possible.

6.4 Recreation and Commercial Vehicles/ Equipment

Recreational vehicles and commercial vehicles shall not be parked in front of a home for any reason other than loading and unloading. When RV's are parked on site they must be parked on the side of the home and be properly screened from the street. Wood screen fence is an acceptable screening mechanism, but may only be used alongside the house. RV parking will not be permitted within any rear yard.



7. LANDSCAPING

7.1 Completion of Landscaping

All front yard landscaping must be completed within one year of occupancy. The minimum requirements will be sod with two trees or six shrubs. As an alternative, homeowners may choose sod with one tree and three shrubs. Coniferous trees must have a minimum height of two metres and deciduous trees must have a minimum caliper of 50mm. The builder shall loam the lot to a minimum depth of 12".

7.2 Fencing

In addition to requirements noted in Part 4-1(8) of the City of Airdrie Land Use Bylaw, the following fencing requirements apply:

7.2.1 Rear Yard Fencing

- Rear yard fencing on rear exposed lots will be provided by the Developer.
- Fencing and gates installed by the Developer may not be altered or removed under any circumstances. Alternative fencing specifications are not permitted.

7.2.2 Side Yard Fencing

- If the rear yard fence of a particular lot has been constructed as a six foot privacy fence, the preferred side yard fence is a six foot privacy fence that matches the Developer's specifications and color.
- If the rear yard fence has been constructed using chain link or wrought iron, the side yard fences must be constructed using either black wrought iron or black chain link to match the Developer's specifications and color. This fence must be constructed to the back of the home. A wood privacy fence may be constructed between two homes but will not be permitted to be constructed past the back wall of the homes.
- Flankage fencing on certain lots is to be installed by the Developer.
- Detailed fencing specifications can be found in Appendix A of these guidelines.

7.2.3 Dog Runs

- Fencing for dog runs may be installed by the homeowner, provided it is 6 feet in height and conforms to the Developer's fencing specifications.
- The fenced dog run area may not extend beyond the depth of the house foundation.



- Dog runs may only extend into side yards.
- Landscape elements are encouraged as screening for dog runs.
- Dog runs are not permitted on the exposed side yard of a corner lot.

7.3 Fire Pits and Outdoor Fireplaces

Fire pits and outdoor fireplaces may be permitted in rear yards only and must be constructed in accordance with any regulations or bylaws established by The City of Airdrie.

7.4 Ancillary Structures

- Ancillary structures such as gazebos, arbors, trellises, fire pits and storage cabins must be designed in a similar style to the home. They shall be located in the rear of the lot.
- All structures are subject to review by the Architectural Coordinator if built at the time of house construction or the Architectural Committee if built at a later date.
- Construction of pools and sport courts also require review by the Architectural Coordinator, or the Architectural Committee if built at a later time.



8. APPROVAL PROCESS

The following process will be followed for submissions for architectural approval in Lanark Landing:

8.1 Review

The Builder shall review all lot information, marketing material and the Architectural Guidelines prior to choosing a lot.

8.2 Submission process

All submissions for architectural approval will be submitted online through the StreetscapePLUS Lot Management System. Access to StreetscapePLUS is available by invitation only and every user on the system must belong to a Group. There are several types of Groups on StreetscapePLUS, each with their own special set of features and view of information. Some types of Groups include:

- Builder
- Developer
- Consultant

If your Group is already setup then you are ready to Request Access. If you don't yet have a Group – then you can contact us directly to have one setup and request the orientation package.

Go Package: Basic Orientation

StreetscapePLUS for Builders

Contact information can be found online at www.e2.associates or in the directory found in section 11 of this document.

For Further information on how to submit for architectural approval, please contact E2 + Associates by email at support@e2.associates.

8.3 Preliminary approval

The Developer and Architectural Committee strongly recommends that preliminary approval submissions be made for each lot in order to avoid the unnecessary expense of revising drawings and/or client disappointment.

The Builder must submit the following to the Architectural Coordinator for a preliminary review:

- Floor plans - sketches or existing drawings that include all exterior dimensions



- Front elevation and all exposed elevations - in the case of corner lots or lots exposed to open spaces
- Materials and colours selections, if customer preference is already known

This information will be reviewed and returned along with design comments, suggested revisions, material and color comments and siting requirements.

The Builder is to fully review all preliminary information supplied and make all necessary changes to the drawings and final submission information prior to proceeding with final approval.

8.4 Site check

The Builder is responsible for checking the site itself, legal plan of survey, plot plan and title to the Lands for locations of:

- Light standards
- Bus zones
- Fire hydrants
- Utility right of ways or easements for drainage
- Catch basins
- Transformer boxes or utility pull boxes
- Restrictive covenants
- Super mail boxes
- or other items which may affect the house design, impact it's siting or the size or location of the driveway and report all problems to the Architectural Coordinator in writing.

8.5 Final Approval

The Builder shall submit online the following to the Architectural Coordinator for final approval:

Professionally drawn working drawings in pdf format:

- Floor plans
- Foundation plans
- Cross sections - complete with all dimensions from subfloors to footings and subfloors to front and rear grades
- Four elevations - complete with all exterior materials clearly noted
- Plot Plan complete with proposed grades



- Final Approval Form - completed with materials and colors

NOTE: Upon return of "the Architectural Approval" the Builder is responsible for checking all information including the approved plans, plot plans, grades and final approval form and contacting the consultant with any concerns or discrepancies.

8.5.1 Revisions

The Builder shall contact the Architectural Coordinator through StreetscapePLUS and obtain written approval for any revisions to the architectural approval before the revisions are applied. Charges for revisions after Final Approval are subject to a fee charged directly to the Builder.

8.6 Building permit

The Builder shall apply for a building permit from the appropriate authority.

8.7 Surveyor stakeout

When the approved plans are finalized and approved by the Architectural Coordinator, the Builder may precede to stakeout the property.

8.8 Return of deposits

Return of the \$3,000 Architectural and Landscaping deposit will be released to the Builder upon satisfactory completion of the house as per the architectural approval. To initiate an architectural inspection and return of the deposit, the following must be completed:

8.8.1 Requirements

The construction complete and exterior complete in accordance with these guidelines AND as per the house plan approval and landscaping complete.

- Landscaping completed as per the landscape plans approved
- Final grading completed
- Final grading certificates and approved grading inspection report
- Water valve exposed and marked
- Sidewalks, street, gutter and curbs in clean condition
- Electronic request to E2 + Associates. to conduct the landscape inspection. The request must include the final grade certificate.
- Acknowledgement Form sent to E2 + Associates.

Once the final inspection is complete, a report will be sent to the Developer and Architectural Committee. The Builder will be notified of any landscaping deficiencies and will be given a time frame in which to correct the deficiencies.



9. CONSTRUCTION REGULATIONS

9.1 Material and Equipment Storage

- Builders will be allowed to store their materials and equipment on site during construction, but may not store on adjacent or any other home sites.
- Items stored must be stored in an organized manor and must be covered to ensure site cleanliness.
- Builders must ensure that they do not trespass or disturb any other properties.
- Cleaning of paint, solvents, stains, etc will not be permitted on site.
- Concrete trucks may not clean chutes anywhere on site

9.2 Use of Site

- Construction debris and waste must be contained on site each day and removed at the end of the project.
- Debris may not be burned, dumped, or buried anywhere on site at any time.
- Site damage (curbs, site furniture, sidewalks, roadways, vegetation) will be the charged to the responsible Builder.
- Should a site not be maintained as per these Guidelines, the Architectural Committee reserves the right to rectify any deficiencies at the cost of the responsible Builder.
- The Builder shall take all necessary measures to prevent the tracking of sediment and mud onto the public right-of-way. The builder is required to clean any sediment and mud on the right-of-way in front of their lot.

9.3 Vehicles and Parking

- Utility trailers, etc. may be parked on site only during the time of construction. These are parked at the risk of the Builder.

9.4 Other Notes

- Vegetation material, top soil, or similar materials may not be dumped on site at any time.
- Changing oil on any equipment or vehicles is not permitted on site.
- Alcohol and drugs are prohibited at all times on site.
- Erosion control is the responsibility of the Builder during construction.
- Builders are to ensure that sites are only accessed via the provided entries.





10. DISCRETION

Notwithstanding anything set out in these guidelines, the Architectural Committee, and Architectural Coordinator (E2 + Associates) may apply their respective judgments when considering and approving anything regulated or controlled by these Guidelines. In so doing, the Architectural Committee and the Architectural Coordinator may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

10.1 No Right to Enforce

Only the Developer, Architectural Committee or the Lanark Landing Homeowners Association, may enforce the Guidelines, no purchaser of a lot in Lanark Landing may enforce these guidelines.

The extent the Developer, Architectural Committee or the Lanark Landing Homeowners Association incurs costs, including legal costs, disbursements or expenses in enforcing these guidelines, the Developer, Architectural Committee or the Lanark Landing Homeowners Association, as the case may be, and such costs, including legal costs on a solicitor and own client basis, disbursements or expenses shall become a debt payable by the Owner of the Lot in question and such debt shall be registerable as a charge against the Lot to run with the Lot and binding on the owners from time to time of the Lot.

10.2 Right to Amend

The Architectural Committee may amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

10.3 No Trespassing

No person shall infringe upon, excavate, destroy, paint, fill in, cut, remove or tamper with any lot in Lanark Landing that is not their own. If done so the Developer has full right to take legal action for relief of any violation.

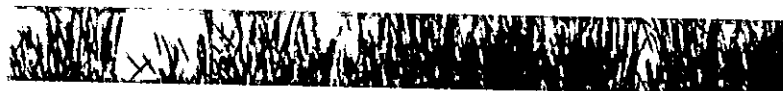


11. HOMEOWNERS ASSOCIATION

To ensure that the built form remains true to the selected styles, the Developer and the Architectural Committee has commissioned E2 + Associates to be the interim Architectural Coordinator for the community. E2 + Associates will review all home plans submitted by the Builders for conformance of these Guidelines.

This responsibility will be assumed by the Lanark Landing Homeowners Association who will become the Architectural Committee once assigned by the Developer. Once the responsibility is assigned, the Lanark Landing Homeowners Association will have the following ability:

- Enforcement, administration and interpretation of these Guidelines at their discretion or their designated consultant.
- Alter, amend or vary these requirements, at their sole and absolute discretion and without prior notice. They and their designated consultants retain the full discretion to approve or disapprove any or all elements of a proposed development or structure.
- The Lanark Landing Homeowners Association, their servants, agents, contractors, appointees, shall not be held responsible or liable for the accuracy, enforcement or compliance with these Guidelines to any Owner, Purchaser and/or Builder within the Subdivision.
- Notwithstanding anything else set out in these Guidelines, the Lanark Landing Homeowners Association may apply their respective judgements when considering and approving anything regulate or controlled by these Guidelines. In doing so, the Lanark Landing Homeowners Association may provide waivers or relaxations to any matter set out in these Guidelines in their sole and absolute unfettered discretion. Only the Developer or Lanark Landing Homeowners Association, once assigned may enforce the Guidelines. No purchaser of a lot in Lanark Landing may enforce these Guidelines. The Developer, Architectural Committee or Lanark Landing Homeowners Association may from time to time amend these guidelines as it sees fit in its sole and absolute unfettered discretion.





12. CONTACTS

ARCHITECTURAL COORDINATOR

E2 + Associates

23rd Floor, 150 9 Avenue S.W.

Calgary, Alberta T22P 3H9

Tel: 403.256.5123

Email: support@e2.associates

ENGINEERING CONSULTANT

Pasquini and Associates

Suite 300-929 11 St SE

Calgary, Alberta T2G 0S8C

Tel: 403.452.7677

Fax: 403.452.7660

DEVELOPER

Highview Communities Inc.

Suite 210 - 101 6 St SW

Calgary, Alberta T2P 5K7

Tel: 403.283.3556

Fax: 403.270.0538

ARCHITECTURAL COMMITTEE (until assigned to Lanark Landing Homeowners Association)

Highview Communities Inc.

Suite 210 - 101 6 St SW

Calgary, Alberta T2P 5K7

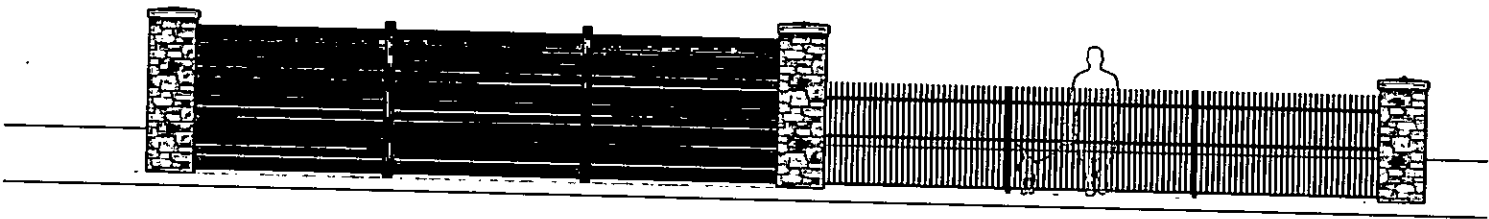
Tel: 403.283.3556

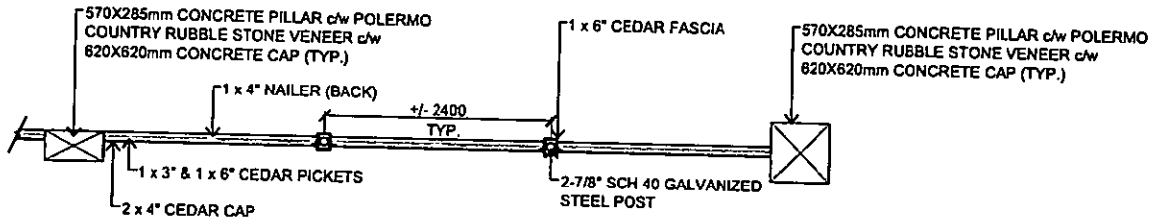
Fax: 403.270.0538



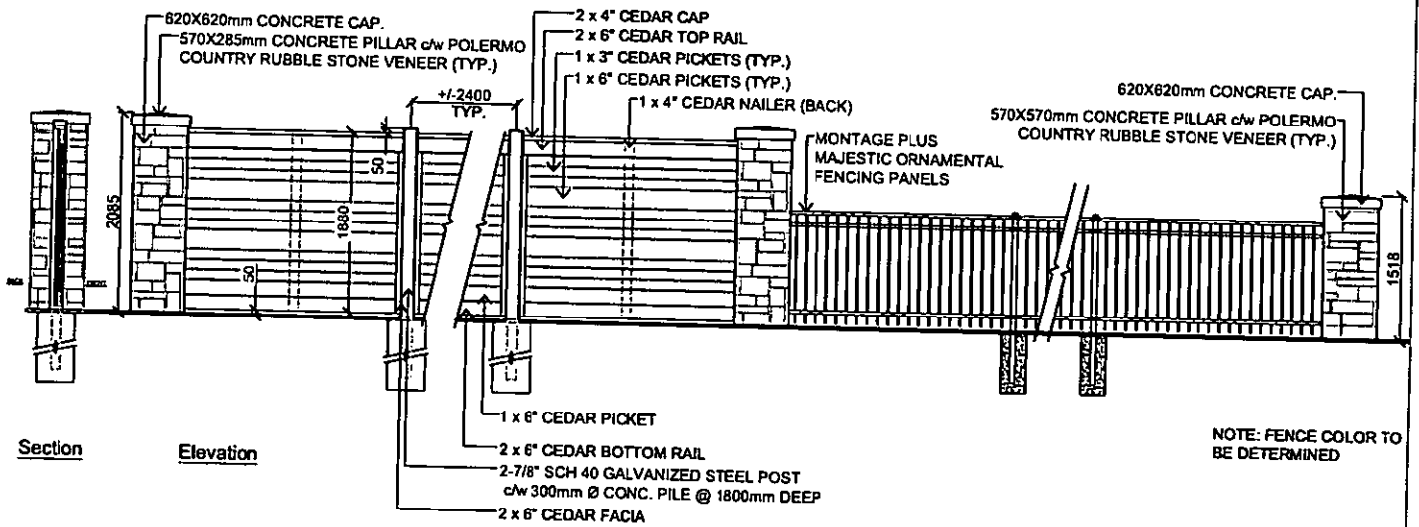
APPENDIX A

FENCING DETAILS





Plan View



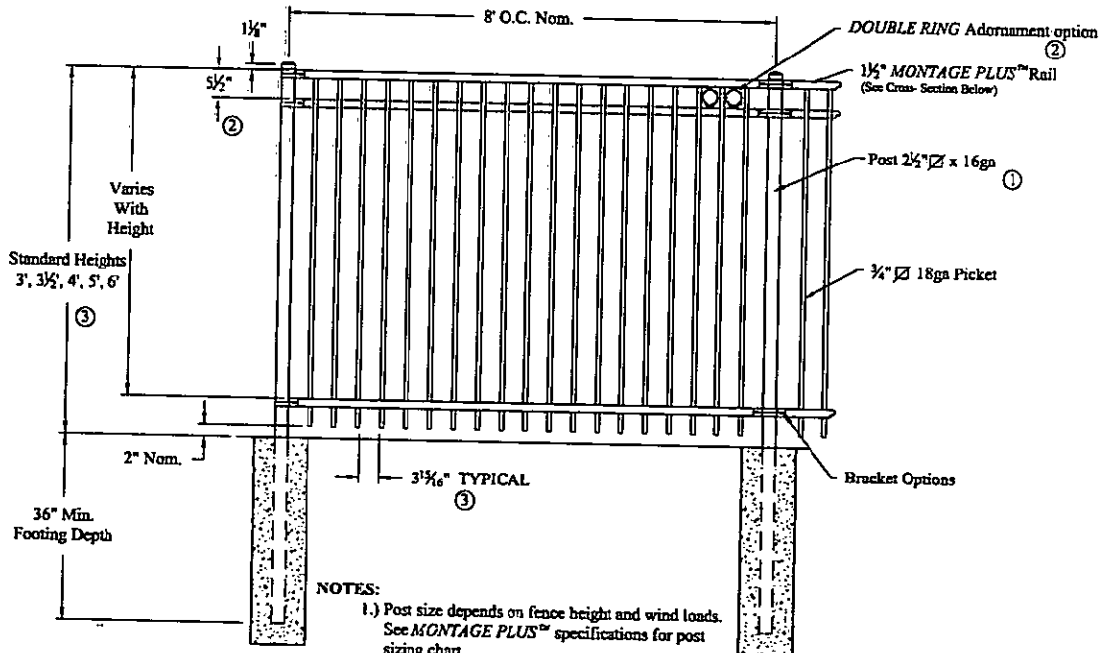
NOTE: FENCE COLOR TO BE DETERMINED

Scale: NTS

Date: September 2019

Drawing Title: Flankage Fence c/w Pillars
 Community: Lanark Landing
 Client: Melcor Developments Ltd.



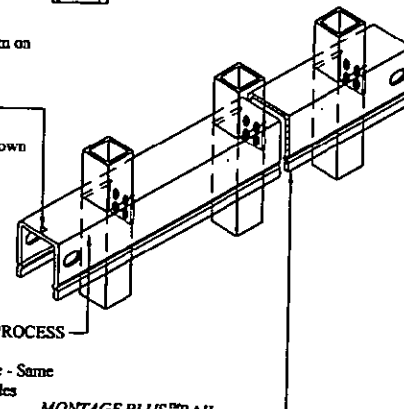


NOTES:

- 1.) Post size depends on fence height and wind loads. See MONTAGE PLUS™ specifications for post sizing chart.
- 2.) Third rail required for Double Rings.
- 3.) Available in 3" air space and/or Flush Bottom on most heights.

RAKING DIRECTIONAL ARROW

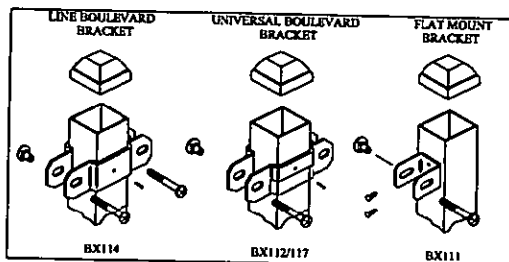
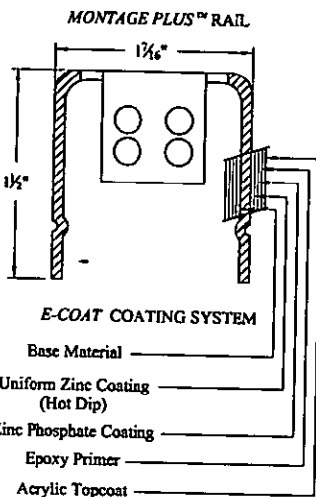
Welded panel can be raked 30° over 8" with arrow pointing down grade.



PROFUSION™ WELDING PROCESS

No exposed welds. Good Neighbor profile - Same appearance on both sides

MONTAGE PLUS™ RAIL - Specially formed high strength architectural shape.



COMMERCIAL STRENGTH WELDED STEEL PANEL
PRE-ASSEMBLED

MONTAGE PLUS MAJESTIC 2/3-RAIL

DR: CI	SH. 1 of 1	SCALE: DO NOT SCALE
CK: ME	Date 6/28/10	REV: c



AMERISTAR®

1555 N. Mingo
Tulsa, OK 74116
1-888-333-3422
www.ameristarfence.com

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

1RMISG





APPENDIX B

SINGLE FAMILY - REAR DETACHED GARAGE





B.1. Product Type and Land Use

The housing throughout Lanark Landing is intended to be very diverse in nature therefore a variety of land use and zoning requirements will exist in the community. Builders are to ensure familiarity with the appropriate requirements and stipulations.



B.1.1 Product Type

Product type

- Single Family-Rear detached garage

Minimum House Size

- Two Storey: Minimum 1300 ft²
- Bungalow: Minimum 1000 ft²

Design Requirements

- 5'-0" deep front porch or stoop required (see 4.4.7)
- Wood porch/stoop is permitted
- Rear detached garages are required to be built on corner and high visibility lots



B.1.2 Land Use And House Siting

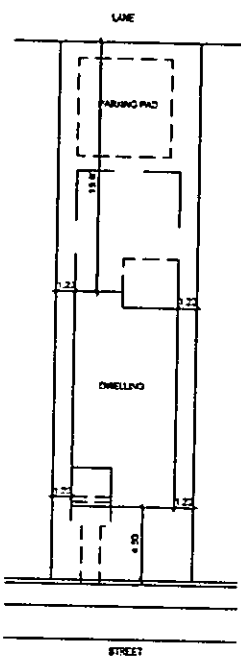
Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize lot space. Designers should take into consideration the lot width, length and shape as houses should be conforming to these dimensions. Homes in Lanark Landing will be sited to create variety and homes with greater massing will have increased front setbacks. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot.

Zoning

- R-2

Setbacks

- Front setback 3.5m min but will vary from lot to lot up to 5.0m
- Rear setback 8.0m/5.0m deck
- Side setback 1.20m /3.0m corner lot (house and deck)

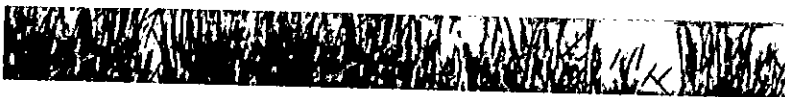




APPENDIX C

SINGLE FAMILY - REAR DETACHED GARAGE

GREENSTREET PRODUCT





C.1. Product Type and Land Use

The housing throughout Lanark Landing is intended to be very diverse in nature therefore a variety of land use and zoning requirements will exist in the community. Builders are to ensure familiarity with the appropriate requirements and stipulations.



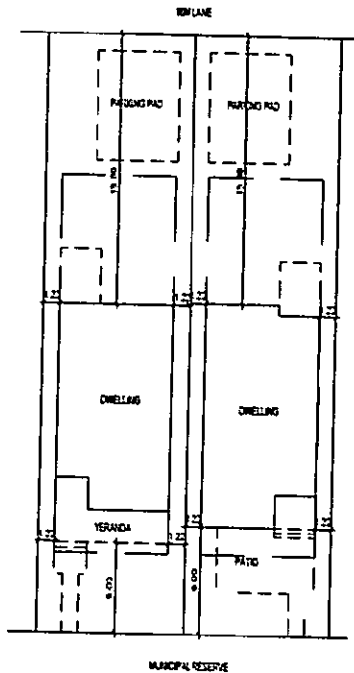
C.1.1 Product Type

Product type

- Single Family-Rear detached garage - Greenstreet
- Minimum House Size
- Two Storey: Minimum 1300 ft²
- Bungalow: Minimum 1000 ft²

Design Requirements

- 5'-0" deep front porch or stoop required (see 4.4.7)
- Wood porch/stoop is permitted
- Rear detached garages are required to be built on corner and high visibility lots



C.1.2 Land Use And House Siting

Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize lot space. Designers should take into consideration the lot width, length and shape as houses should be conforming to these dimensions. Homes in Lanark Landing will be sited to create variety and homes with greater massing will have increased front setbacks. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot.

Zoning

- R-1L (Greenstreet)

Setbacks

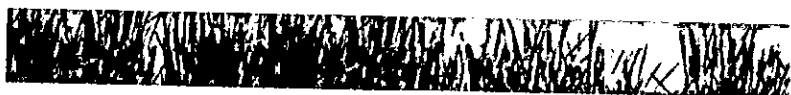
- Front setback 5.00M
- Rear setback 8.0m/5.0m deck
- Side setback 1.20m /3.0m corner lot (house and deck)





APPENDIX D

SEMI-DETACHED - REAR DETACHED GARAGE





D.1. Product Type and Land Use

The housing throughout Lanark Landing is intended to be very diverse in nature therefore a variety of land use and zoning requirements will exist in the community. Builders are to ensure familiarity with the appropriate requirements and stipulations.



D.1.1 Product Type

Product type

- Semi-Detached - Rear detached garage

Minimum House Size

- Two Storey: Minimum 1200 ft²
- Bungalow: Minimum 1000 ft²

Design Requirements

- 5'-0" deep front porch or stoop required (see 4.4.7)
- Wood porch/stoop is permitted
- Rear detached garages are required to be built on corner and high visibility lots



D.1.2 Land Use And House Siting

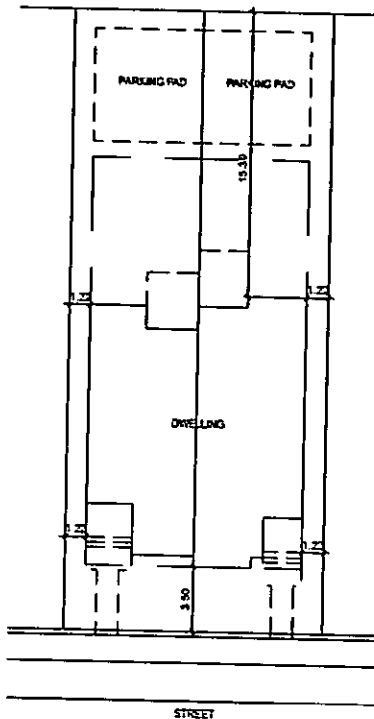
Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize lot space. Designers should take into consideration the lot width, length and shape as houses should be conforming to these dimensions. Homes in Lanark Landing will be sited to create variety and homes with greater massing will have increased front setbacks. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot.

Zoning

- R-2

Setbacks

- Front setback 3.50M
- Rear setback 8.0m/5.0m deck
- Side setback 1.20m /3.0m corner lot (house and deck)





APPENDIX E

SEMI-DETACHED - FRONT ATTACHED GARAGE





E.1. Product Type and Land Use

The housing throughout Lanark Landing is intended to be very diverse in nature therefore a variety of land use and zoning requirements will exist in the community. Builders are to ensure familiarity with the appropriate requirements and stipulations.



E.1.1 Product Type

Product type

- Semi Detached - Front attached garage

Minimum House Size

- Two Storey: Minimum 1200 ft²
- Bungalow: Minimum 1000 ft²

Design Requirements

- 24" jog between units
- Glazing required on double car garage o.h. doors
- Double front attached garages must have 24" border of exposed aggregate or stamped concrete along each side with double car garage



E.1.2 Land Use And House Siting

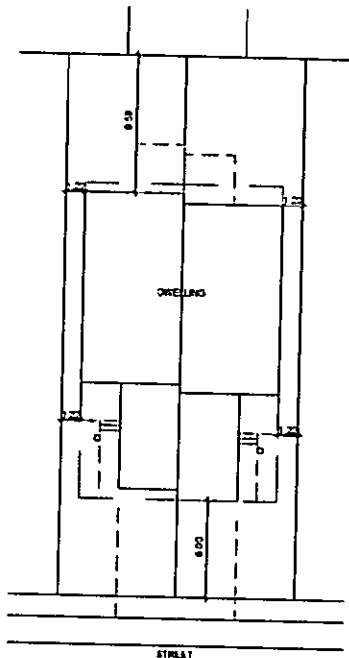
Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize lot space. Designers should take into consideration the lot width, length and shape as houses should be conforming to these dimensions. Homes in Lanark Landing will be sited to create variety and homes with greater massing will have increased front setbacks. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot.

Zoning

- DC-44

Setbacks

- Front setback 6.00M
- Rear setback 8.0m/5.0m deck
- Side setback 1.20m /3.0m corner lot (house and deck)





APPENDIX F

SIMPLE ROW HOUSE -REAR DETACHED GARAGE





F.1. Product Type and Land Use

The housing throughout Lanark Landing is intended to be very diverse in nature therefore a variety of land use and zoning requirements will exist in the community. Builders are to ensure familiarity with the appropriate requirements and stipulations.

F.1.1 Product Type

Product type

- Fee Simple Rowhouse - Rear detached garage

Minimum House Size

- Two Storey: Minimum 1100 ft²
- Bungalow: Minimum 1000 ft²

Design Requirements

- 5'-0" deep front porch or stoop required (see 4.4.7)
- Wood porch/stoop is permitted
- Rear detached garages are required to be built on corner and high visibility lots



F.1.2 Land Use And House Siting

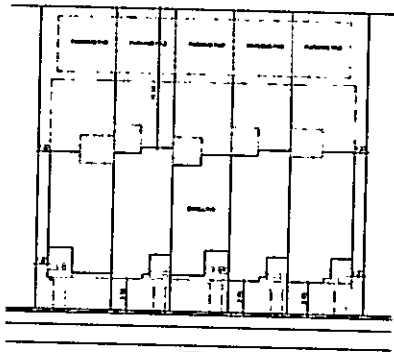
Builders and Designers are to choose home designs based on the grading and site topography in order to take full advantage of views and to maximize lot space. Designers should take into consideration the lot width, length and shape as houses should be conforming to these dimensions. Homes in Lanark Landing will be sited to create variety and homes with greater massing will have increased front setbacks. Designers are to review the Building Grade Plan and Marketing Plan prior to home design to ensure that the proposed home is compatible with the desired lot.

Zoning

- R-2T

Setbacks

- Front setback 3.50M
- Rear setback 8.0m/5.0m deck
- Side setback 1.20m /3.0m corner lot (house and deck)

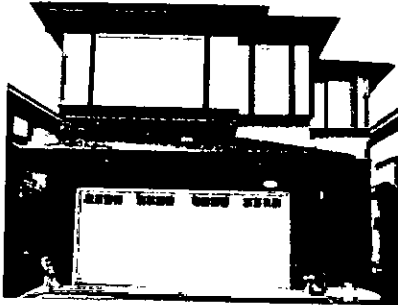




APPENDIX G

SINGLE FAMILY - FRONT DRIVE GARAGE





G.1. Product Type and Land Use

The housing throughout Lanark Landing is intended to be very diverse in nature therefore a variety of land use and zoning requirements will exist in the community. Builders are to ensure familiarity with the appropriate requirements and stipulations.

G.1.1 Product Type

Product Type

- Single Family - Front Drive Garage

Minimum House Size

- Two Storey: Minimum 1600 ft²
- Bungalow: Minimum 1200 ft²

Design Requirements

- 8' maximum offset from front face of garage to front of porch. (review in LUB)
- 24" border of charcoal exposed aggregate concrete along each side of driveway.
- Precast front step and porch required - minimum 5' deep.
- Modern garage door designs are preferred.
- Designs must comply with the City of Airdrie Land Use Bylaw



G.1.2 Land Use And House Siting

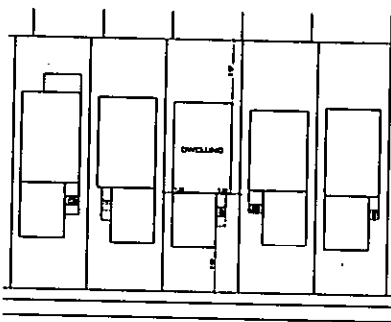
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Zoning

- R-1 / R-1U

Setbacks

- Front setback R-1: 6.0m / R-1U: 4.6m
- Rear setback 8.0m/5.0m deck
- Side setback 1.20m /3.0m corner lot





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LINC/S: 0039288626 +